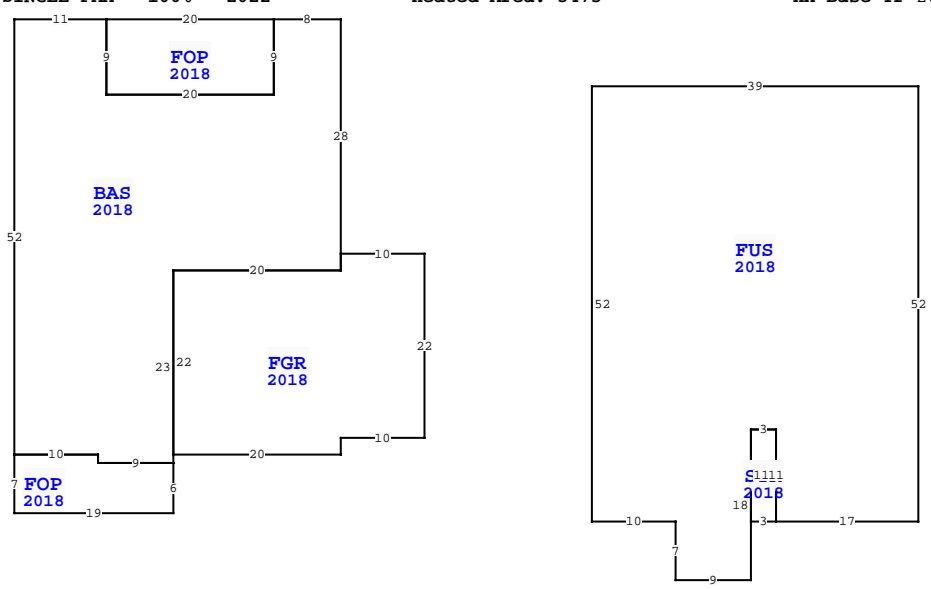




BUILDING CHARACTERISTICS		CONSTRUCTION	
ELEMENT	CD		
Exterior Wall	31	HARDIE BRD	90
Exterior Wall	21	STONE	10
Roof Structure	08	IRREGULAR	100
Roof Cover	03	COMP SHNGL	100
Interior Wall	05	DRYWALL	100
Interior Floor	11	CLAY TILE	50
Interior Floor	14	CARPET	50
Air Condition	03	CENTRAL	100
Heating Type	04	AIR DUCTED	100
Bedrooms		5	100
Bathrooms		3	100
Frame	02	WOOD FRAME	100
Stories	0	0	100
Units	0	0	100
Occupancy	00	NONE	100
Quality	04	Quality Level 04	
DOR CODE	0100	SINGLE FAMILY	
MAP NUM		MKT AREA	04
NEIGHBORHOOD/LOC	4145.00		
AREA TYPE	TOTAL GROSS AREA	PCT OF BASE	YEAR
BAS	1,417	100	2018
FGR	660	55	2018
FOP	124	30	2018
FOP	180	30	2018
FUS	2,058	100	2018
STR	33	10	2018
TOTALS	4,472		

MARKET ADJUSTMENTS											
TYPE	MDL	EFF. AREA	TOT ADJ PTS	EFF. BASE RATE	REPL. COST NEW	AYB	EYB	ECON	FNCT	NORM	% COND
0100	01	3,932	109.0530	109.05	428,785	2018	2018	0	0	2.55	97.45
1 SINGLE FAM - 100% - 2022 Heated Area: 3475 HX Base Yr 2022											



NASSAU COUNTY PROPERTY			PAGE 1 of 1
VALUATION SUMMARY			4
VALUATION BY			STANDARD
Tax Group: 4	Tax Dist:		
BUILDING MARKET VALUE			417,851
TOTAL MARKET OB/XF VALUE			4,512
TOTAL LAND VALUE - MARKET			85,000
TOTAL MARKET VALUE			507,363
SOH/AGL Deduction			56,474
ASSESSED VALUE			450,889
TOTAL EXEMPTION VALUE	HX HB		50,722
BASE TAXABLE VALUE			400,167
TOTAL JUST VALUE			507,363
NCON VALUE			0
INCOME VALUE			
PREVIOUS YEAR MKT VALUE			478,516

PERMIT NUM	DESCRIPTION	AMT	ISSUED
B1707937	CO ISSUED	0	04/30/2018
B1707937	NEW CONSTR	442,558	08/31/2017

SALES DATA						
OFF RECORD Number	DATE	TYPE INST	Q / U	V / I	RSN CD	SALE PRICE
2473/0041	6/23/2021	WD	Q	I	02	459,900
GRANTOR: OP SPE TPAI LLC						
GRANTEE: MAHARAJ RONNY S & A						
2505/1386	5/20/2021	WD	U	I	37	429,000
GRANTOR: MOSLEY STEVE & MISHON						
GRANTEE: OP SPE TPAI LLC						

EXTRA FEATURES															
L N	OB/XF CODE	DESCRIPTION	BLD CAP	L W	UNITS	UT	Adj R	ADJ UNIT PRICE	ORIG COND	YEAR ON	YEAR ACTUAL	Q	% COND	OB/XF MKT VALUE	NOTES
1	0812	CONCRETE C	0	100	0	0		4.00	100	2018	2018	3	97	4,512	

BLD DATE		03/30/2023	NW	LGL DATE	04/23/2025	MLU
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BUILDING NOTES	
FGR=[YR=2018] W10 BAS=[YR=2018] N28 W8 FOP=[YR=2018] W20 S9 E20 N9\$ S9 W20 N9 W11 S52 FOP=[YR=2018] S7 E19 N6 W9 N1 W10\$ E10 S1 E9 N23 E20 N2\$ S2 W20 S22 E20 N2 E10 N22\$ PTR=E20 N20 FUS=[YR=2018] E39 S52 W17 STR=[YR=2018] W3 N11 E3 S11\$ N11 W3 S18 W9 N7 W10 N52\$ S20 W20\$.	

LAND DESCRIPTION															TOTAL OB/XF									
L N	USE CODE	CLS	LAND USE DESCRIPTION	CAP	R D	LOC ZONE	FRONT	DEPTH	TOT LND UTS	UNIT TYPE	D T	DPHT FACT	% COND	TOT ADJ	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE	OTHER ADJUSTMENTS AND NOTES	YEAR	DENSITY	DECL	FRZ	YR	CONSRV
1	000100	C	RES	100		PUD	0.00	0.00	1.00	LT		1.00	1.00	1.00	85,000.00	85,000.00	85,000							