



BUILDING CHARACTERISTICS		
ELEMENT	CD	CONSTRUCTION
Exterior Wall	05	AVERAGE 70
Exterior Wall	12	CEDAR 30
Roof Structure	03	GABLE/HIP 100
Roof Cover	12	MODULAR MT 100
Interior Wall	05	DRYWALL 100
Interior Floor	12	HARDWOOD 70
Interior Floor	11	CLAY TILE 30
Air Condition	03	CENTRAL 100
Heating Type	04	AIR DUCTED 100
Bedrooms	3	100
Bathrooms	2	100
Frame	02	WOOD FRAME 100
Stories	1.	1. 100
Units		0 100
BUD8 Adjustme	05	DIST 1A 100
Occupancy	00	NONE 100

Quality	06	Quality Level 06
DOR CODE	0100	SINGLE FAMILY

MAP NUM		MKT AREA	02
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NEIGHBORHOOD/LOC	2009.00
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AREA TYPE	TOTAL GROSS AREA	PCT OF BASE	YEAR	TOT ADJ AREA	SUBAREA MARKET VALUE
BAS	1,095	100	1993	1,095	179,493
FGR	312	55	1993	172	28,194
FOP	56	30	1993	17	2,787
USP	240	30	2024	72	11,802

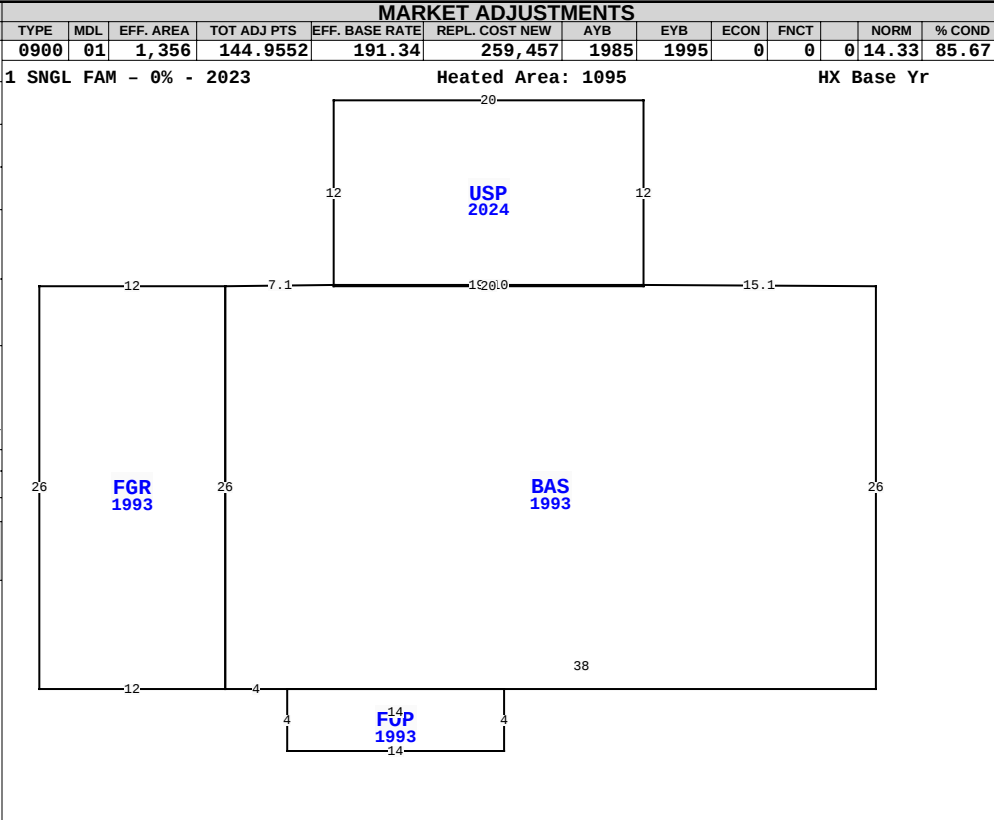
TOTALS	1,703			1,356	222,277
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EXTRA FEATURES

L N	OB/XF CODE	DESCRIPTION	BLD	CAP	L	W	UNITS	UT	Adj R	ADJ UNIT PRICE	ORIG COND	YEAR ON	YEAR ACTUAL	Q	% COND	OB/XF MKT VALUE	NOTES
1	0810	CONCRETE A	0	0	0	16	4	64.00	SF 6.50	6.50	100	1985	1985	3	44	183	
2	0810	CONCRETE A	0	0	0	0		483.00	SF 6.50	6.50	100	1985	1985	3	44	1,381	
3	0810	CONCRETE A	0	0	0	0		493.00	SF 6.50	6.50	100	1999	1999	3	75	2,403	
4	0810	CONCRETE A	0	0	12	14		168.00	SF 6.50	6.50	100	1985	1985	3	44	480	
5	0810	CONCRETE A	0	0	4	8		32.00	SF 6.50	6.50	100	1985	1985	3	44	92	
6	0912	SCRN RM G	0	0	0	0		420.00	SF 20.00	20.00	100	2024	2023		97	8,148	
7	1242	WD DECK A	0	0	0	0		192.00	SF 10.00	10.00	100	2024	2020		97	1,862	
8	0855	CONC PAVER	0	0	0	0		600.00	SF 10.00	10.00	100	2024	2023		100	6,000	

LAND DESCRIPTION

L N	USE CODE	CLS	LAND USE DESCRIPTION	CAP	R D	LOC ZONE	FRONT	DEPTH	TOT LND UTS	UNIT TYPE	D T	DPH FACT	% COND	TOT ADJ	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE	OTHER ADJUSTMENTS AND NOTES	YEAR	DENSITY	DECL	FRZ	YR	CONSRV
1	000100	C	RES		0	0006	RSF-2	0.00	0.00	1.00	LT	1.00	1.00	1.00	200,000.00	200,000.00	200,000							



BLD DATE		LGL DATE	
XF DATE		LAND DATE	05/06/2025
INC DATE		AG DATE	MLU

TOTAL OB/XF																		20,549
2185	TALBOT CT,	FERNANDINA BEACH																

NASSAU COUNTY PROPERTY				PAGE 1 of 1	8
VALUATION SUMMARY				STANDARD	
VALUATION BY		Tax Group: 8		Tax Dist:	
BUILDING MARKET VALUE				222,277	
TOTAL MARKET OB/XF VALUE				20,549	
TOTAL LAND VALUE - MARKET				200,000	
TOTAL MARKET VALUE				442,826	
SOH/AGL Deduction				43,589	
ASSESSED VALUE				399,237	
TOTAL EXEMPTION VALUE				0	
BASE TAXABLE VALUE				399,237	
TOTAL JUST VALUE				442,826	
NCON VALUE				0	
INCOME VALUE					
PREVIOUS YEAR MKT VALUE				382,785	

PERMIT NUM	DESCRIPTION	AMT	ISSUED
B230008757	22*12 COMPOSITE R	22,337	07/10/2023

SALES DATA							
OFF RECORD Number	DATE	TYPE INST	Q U	V I	RSN CD	SALE PRICE	
2563/1865	5/18/2022	WD	Q	I	02	402,000	
GRANTOR: VAN WINTER WILLIAM SA							
GRANTEE: DAIL CARLA ELIZABET							
1722/1012	1/10/2011	WD	U	I	11	120,000	
GRANTOR: BANK OF AMERICA N A							
GRANTEE: VAN WINTER WILLIAM							

BUILDING NOTES

BUILDING DIMENSIONS

BAS=[YR=1993;ORIG=0,0] U0.1L15.1 W19.10 D0.1L7.1 S26 E4 E38 N26 \$
FGR=[YR=1993;ORIG=-42,0] W12 S26 E12 N26 \$
FOP=[YR=1993;ORIG=-38,26] S4 E14 N4 W14 \$
USP=[YR=2024;ORIG=-35,-12] E20 S12 W20 N12 \$